

The Brookfield Library
Roof Replacement Project

182 Whisconier Road
Brookfield CT, 06804

INSTRUCTIONS TO BIDDERS

The town of Brookfield is soliciting bids for the demolition and replacement of the roof on its Public Library. There will be a pre- bid meeting on **June 17, 2015 at 10:00 AM** at the site at 182Whisconier Rd. to discuss this project. **This pre-bid meeting is mandatory.** The bid due date for this project is **July 7, 2015 at 10:00 AM** when they will be opened publicly. Bids should be delivered to: the following address prior to the opening date and time.

Ralph Tedesco
Director of Public Works
100 Pocono Rd.
Brookfield CT 06804

Mark the exterior of the envelope “Brookfield Library Roof Bid”

PART 1- WORK SUMMARY

1.01 SUMMARY

- A. The owner is THE TOWN OF BROOKFIELD, 100 Pocono Rd, Brookfield, CT
- B. Section Includes:
 - 1. project description
 - 2. applicable regulatory requirements
 - 3. permits and licenses
 - 4. contractor's use of premises
 - 5. coordination requirements
 - 6. coordination drawings
 - 7. preconstruction meeting
 - 8. construction fencing and security procedures
 - 9. work sequence

1.02 PROJECT DESCRIPTION

- A. The project consists of Work as shown in the Contract Documents
 - ~~1. As indicated on the drawings~~
 - 2. As shown in the contract documents as prepared by TOWN OF BROOKFIELD
 - 3. In general, this project consists of the replacement of the asphalt shingles, underlayment, gutters, sheathing and all other work necessary to complete the project.

1.03 REGULATORY REQUIREMENTS

- A. The following regulations are applicable to this project
 - 1. BOCA National Building Code/ 1996
 - 2. The State Building Code / May 1, 1999 Connecticut Supplement
 - 3. The Life Safety Code, NFPA 101, 1997
 - 4. The State Fire Safety Code / May 1, 1999 Connecticut Supplement
 - 5. American Nation Standard / ICC/ANSI A 117.1-1998
- B. Other regulations may also be applicable

1.04 PERMITS AND LICENSES

- A. The Contractor shall obtain and pay for all permits part of this project. Fees will be waived for Town of Brookfield permits.
- B. The Contractor shall comply and give notice required by laws, ordinances, rules, regulations and lawful orders of all governing authorities bearing on performance of the work.
- C. Utilities such as electric service, water service and lighting services are in current use at the site. Any temporary utilities will be paid for by the Contractor.

1.05 CONTRACTOR USE OF PREMISES

- A. The Contractor shall be responsible for providing storage areas, THE TOWN OF BROOKFIELD will advise on the area available on the project site.

1.06 COORDINATION

- A. If necessary, inform each party involved, in writing, of the procedures required for coordination; Include requirements for giving notice, submitting reports and attending meetings.
 - 1. Inform TOWN OF BROOKFIELD when coordination of his worked is required.
- B. See other requirements in other portions of the contract documents

1.07 COORDINATION OF DRAWINGS

- A. Prepare coordination drawings where limited space available may cause conflicts in the locations of install products, and where required to coordinate installation products.
 - 1. Coordinate shop drawings prepared by separate entities.

1.08 RECONSTRUCTION MEETING

- A. A preconstruction meeting will be held at a time and place designated by THE TOWN OF BROOKFIELD for the purposes of identifying and reviewing:
 - 1. Contractor to provide THE TOWN OF BROOKFIELD with Project Construction schedule
 - 2. Use of areas of the site
 - 3. Delivery and storage
 - 4. Safety
 - 5. Security
 - 6. Clean up
 - 7. Subcontractor procedures relating to:
 - a. submittals
 - b. change orders
 - c. applications for payments
 - d. record documents
 - e. administrative procedures
- B. Attendees shall include representatives of THE TOWN OF BROOKFIELD as well as the Contractor

1.09 CONSTRUCTION SITE SECURITY PROCEDURES

- A. The Contractor shall secure and protect completed work and work in progress as required to prevent loss and / of damage
- B. The Contractor will be responsible for the complete security of the work site to prevent materials and work from theft, vandalism, damage and unauthorized access.

1.10 SEQUENCE

- A. Construct work in priorities as set forth by the TOWN OF BROOKFIELD
- B. Tenants will occupy the site and living units during the entire period of construction
- C. Work shall be scheduled to accommodate requirements.

PART 2-ROOFING and APPURTANANCES

2.01 REFERENCES

- A. Applicable provisions of the General Conditions and Division 1, Supplementary General Conditions shall govern under this section
- B. Refer to this section for General Conditions and General Information on work performed in this division
- C. Where items of the General Conditions and Special conditions are repeated in this section of the specifications, it is merely intended that any other parts of the General Conditions and Special Conditions shall be assumed to be omitted if not repeated herein.
- D. This section applies equally and specifically to contractors supplying labor and/or equipment and/or materials as required under each section of this division.

2.02 WORK INCLUDED

- A. This work includes the furnishing of all labor, materials, equipment and services for and incidental to the installation and completion of all the roofing requirements as specified.
- B. Included, but not limited to, are the following major items:
 - 1. Installing asphalt shingles
 - 2. Installing underlayment felt
 - 3. Installing sheathing as necessary
 - 4. Installing down spouts and gutters
 - 5. Installing flashing
 - 6. Replacement of rotted fascia
 - 7. Installation of ice and water shields
 - 8. Replace Insulation as necessary.

2.03 EXAMINATION OF PRINTS AND CONDITIONS

- A. Examine drawings related to the work of other sections and become fully informed as to the extent and character of the work required as it relates to this section and other sections of this project.

2.04 QUALITY ASSURANCE PRODUCTS AND MATERIALS

- A. Sheathing to be 5/8 inch CDX plywood (assuming rafters are 16-inch on center)
- B. Underlayment shall be Diamond Deck by CertainTeed or equivalent.
- C. Shingles shall be a minimum 30 year grade architectural style asphalt shingles by major roofing manufacturer typical of CertainTeed, 3M, and GAF, 3 tab, architectural style to be approved by the Historic District Commission. Shingles to meet **ASTM D 3462. Minimum weight per square is to be 230 lbs.**

D. Gutters, leaders, down spouts shall be aluminum. Gutters ~~down spouts~~ and appurtenances to be **minimum thickness of 0.032** “ –K STYLE. and match existing style. Down spouts shall be a **minimum thickness 0.024**”.

E. Flashing and other Water shields

1. Rubberized ice and water shield to meet BOCA code.
2. 16 oz. Copper flashing minimum.
3. Aluminum drip edge, color to match trim.

F. Nails

1. Roofing nails shall be galvanized steel, deformed shanks, with heads 9.5mm to 11mm (3/8 inch to 7/16 inch) diameter.
2. Use nails 32 mm (1-1/4 inch) long for shingles and 19 mm (3/4 inch) long for felt

G. Roof Vents

1. Shall be manufactured by Air Vent, Shingle Vent II or equivalent. Other manufacturers are to be approved prior to installation.

H. Fascia

1. Shall be wood or composite and painted to match existing or otherwise specified. Painting shall consist of primer and additional 2- coats

I. Insulation

1. R-30 Batch fiberglass Insulation

J. Paint

1. Shall be Sherman Williams specified for wood and outdoor use.

2.05 DELIVERY STORAGE AND HANDLING

- A. Delivery of materials in manufacturers unopened bundles or containers with the manufacturers brand name clearly marked thereon
- B. Shingle bundle wrapping shall bear the label of Underwriters Laboratories Inc.
- C. Store Shingles in accordance with printed instructions. Store roll goods on end in an upright position
- D. Keep all materials dry, covered and completely protected from the weather.

2.06 SUBMITTALS

- A. Submit shingle samples for color selection
- B. Manufacturers literature and data for installation
- C. Manufacturer labels from all materials to be used
- D. Asbestos removal plan

PART 3- EXECUTION

3.01 INSPECTION

- A. Inspect surfaces for manufacturer recommended conditions before the work is commenced. Do not proceed with the installation until all unsatisfactory conditions are corrected.

3.02 PREPERATION

- A. Remove and dispose of old asphalt shingles, felt, drip edges, flashing and all other appurtenances as required. *All existing gutters and down spots in reasonably good condition shall be salvaged and reused.*
- B. Check existing sheathing with the assigned TOWN OF BROOKFIELD representative to determine the sheathing to be replaced.
- C. Remove selected sheathing
- D. Install new sheathing
- E. Installation of new Ridge Vent
- F. Roof surface should be sound, reasonably smooth and free from defects prior to new roof installation
- G. Roof accessories, vent pipes, vents, other projections through the roof must be in place and roof flashing installed before laying new shingles.

3.03 ASBESTOS

- A. The existing shingles do contain asbestos. An asbestos report is made part of this bid package in Appendix A.
- B. All asbestos abatement is to be done in accordance with all local, state and federal laws, guidelines, rules, ordinances etc.
- C. An asbestos abatement plan will be required prior to the start of demolition.

3.04 LAYING

- A. Broom clean deck
- B. Install self-adhering modified bitumen tape 4–inches wide over sheathing joints: seal around deck penetrations with roof tape. Tape to be installed with rollers
- C. Apply synthetic underlayment Diamond Deck or equal.
- D. Secure felt with roofing nails. Fasten approximately 5 –inches on center along laps and approximately 12-inches on center along two rows between laps. Rows should be staggered. Laps shall be a minimum of 4-inches at ends, 2-inches at head and 12-inches over the ridge
- E. Lay shingles with a maximum exposure of 5- inches or as specified by the manufacturers. Shingles should be nailed in accordance with manufacturers published specifications and directions for installation. Asphalt strip shingle shall have a minimum of 4 fasteners per strip shingle and 2 fasteners per individual shingle in accordance with BOCA 1507.4.3.
- F. Install ice and water shield at valleys, roof penetrations, eaves, intersections of walls and roofs, hips, low slope roofs and wherever else required. Apply sufficient layer of ice and water shield at eaves to cover the sheathing from the drip edge to **60-inches inside any heated space below.**

3.05 METAL DRIP EDGE

- A. At rakes, install metal drip edges. Apply the metal drip edge directly over the underlayment along the rakes
- B. Secure the metal drip edges with compatible nails not more than 10-inches on center along the inner edges.

3.06 FLASHING

- A. Provide metal flashing at the intersection of all roofs, adjoining walls. Valleys, projections, vent stacks, chimneys or wherever there is a change in roof slope or direction. Give careful attention to the installation of the flashings
- B. Secure Valley flashing in accordance with shingles manufacturers printed instructions.
- C. Expose flashing in open portion of valley a minimum of 5-inches and lap shingles over flashing a minimum of 5-inches.

3.07 ROOF ACCESSORIES

- A. Install roof ridge vents after installing shingles.
- B. Gutters, leaders, down spouts etc. shall be installed after shingle is installed. Where salvaged material can not be used new material will be used to match the existing.

3.08 FASCIA and OTHER WOODWORK

- A. Evaluate the existing 2x6 fascia and other woodwork note rotten sections and advise TOWN OF BROOKFIELD
- B. With the prior approval of THE TOWN OF BROOKFIELD remove rotten sections and replace fascia with new 2x6 prime pine or composite.
- C. Fascia shall be replaced with a composite board where possible (pressure treated wood otherwise) and primed and painted with primer and then 2 coats of exterior Sherwin Williams paint to match existing woodwork.

3.09 PROTECTION

- A. During construction the Contractor must take all the necessary procedures for protection of the interior space of the building from damage due to falling items and/or the environment. The roof must not be left open over night. Tarps and other materials shall be used as required to assure a safe, secure and dry environment.

PART 4- WARRANTY

4.01 INSTALLATION WARRANTY

- A. **The contractor shall supply a 10 year installation warranty on all labor with NO dollar limit.** The warranty shall cover workmanship and installation.
- B. Minimum **30 year** warranty for materials as well as all other applicable manufacturer warranties shall apply

PART 5- APPENDECIES

5.01 Appendix A- Asbestos Report- Attached

Bid Form

(to be transferred to company letterhead)

The Brookfield Library

Roof Replacement Project

**182 Whisconier Road
Brookfield CT, 06804**

Lump Sum Items

1. Demolition:

For all tools, labor, equipment and materials necessary to remove the existing roof shingles, rotted sheathing, insulation, gutters, down spouts and all other roof materials and appurtenances in order to prepare the structure for a new roof. **This item will include Asbestos abatement.**

\$ _____ / Lump Sum

2. Installation:

For all tools labor, equipment and materials as specified and as necessary to install a new roof on the Brookfield Library. This item will include the Roof Shingles, Felt, gutters. Leaders and down spouts (install only), Flashing, Metal Drip Edge, Ridge Vent, Ice and Water Shield and any other material not specifically itemized on this form.

\$ _____ / Lump Sum

Additional Unit Cost Items

Item	Unit Bid	Estimate	Total
3. Supply and Install Sheathing as required	\$ _____ /SF x	7000	\$ _____
4. Supply NEW Gutters	\$ _____ / LF x	400	\$ _____
5. Supply NEW Down Spouts	\$ _____ / LF x	100	\$ _____
6. Supply and Install and Paint Rotten Wood	\$ _____ / SF x	250	\$ _____
7. Supply and Replace Insulation	\$ _____ / SF x	7000	\$ _____

Total Bid (sum of 1 through 7) \$ _____

Total Bid in Words _____ dollars

Company Name _____

Company Address _____

Company Phone _____

Representative _____

Representative Signature _____

Representative E-Mail _____

Date _____

Appendix A



Please Reply To:

AmeriSci New York
117 EAST 30TH ST.
NEW YORK, NY 10016
TEL: (212) 679-8600 • FAX: (212) 679-3114

FACSIMILE TELECOPY TRANSMISSION

To: Robert Brown
Hygenix, Inc.

Fax #:

Email: ~~tibolla@brookfieldct.gov~~
R Brown

From: Tara L. Fisher
AmeriSci Job #: 214091740
Subject: PLM 5 day Results
Client Project: Thomas Tibolla; Town Of
Brookfield; 182 Whisconier Rd.,
Brookfield, CT 06804

Date: Friday, September 12, 2014

Time: 09:37:10

Comments:

Number of Pages: 3
(including cover sheet)

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AmeriSci New York

117 EAST 30TH ST.
NEW YORK, NY 10016
TEL: (212) 679-8600 • FAX: (212) 679-3114

PLM Bulk Asbestos Report

Hygenix, Inc.
Attn: Robert Brown
49 Woodside Street

Stamford, CT 06902

Date Received 09/08/14 AmeriSci Job # 214091740
Date Examined 09/12/14 P.O. #
Page 1 of 1
RE: Thomas Tibolla; Town Of Brookfield; 182 Whisconier Rd.,
Brookfield, CT 06804

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
#1	214091740-01 Location: Asbestos - Roofing / Roofing Shingle	Yes	13 % (by CVES) by Tara L. Fisher on 09/12/14
Analyst Description: Grey, Homogeneous, Fibrous, Bulk Material			
Asbestos Types: Chrysotile 13.0 %			
Other Material: Non-fibrous 87 %			

Reporting Notes:

Tara Fisher

Analyzed by: Tara L. Fisher
*NAD/NSD =no asbestos detected; NA =not analyzed; NA/PS=not analyzed/positive stop; PLM Bulk Asbestos Analysis by EPA 600/M4-82-020 per 40 CFR 763 (NVLAP Lab Code 200546-0), ELAP PLM Method 198.1 for NY friable samples, which includes the identification and quantitation of vermiculite or 198.6 for NOB samples or EPA 400 pt ct by EPA 600/M4-82-020 (NY ELAP Lab ID11480); Note:PLM is not consistently reliable in detecting asbestos in floor coverings and similar non-friable organically bound materials. NAD or Trace results by PLM are inconclusive, TEM is currently the only method that can be used to determine if this material can be considered or treated as non asbestos-containing in NY State (also see EPA Advisory for floor tile, FR 59,146,38970,8/1/94) National Institute of Standards and Technology Accreditation requirements mandate that this report must not be reproduced except in full without the approval of the lab.This PLM report relates ONLY to the items tested. AIHA Lab # 102843, RI Cert#AAL-094, CT Cert#PH-0186, Mass Cert#AA000054.

Reviewed By: _____ END OF REPORT _____



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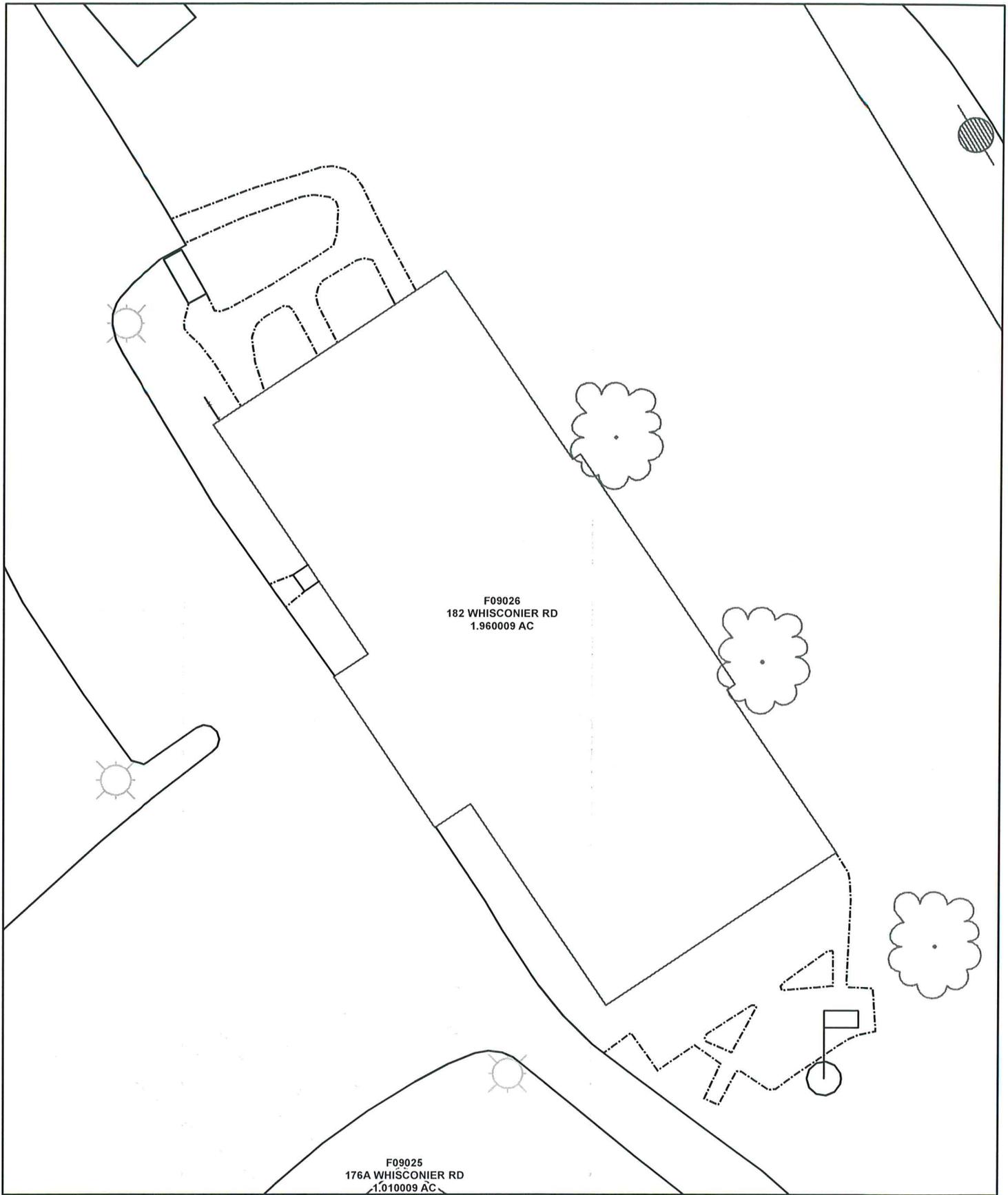
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Reviewed By: _____ END OF REPORT _____

Town of Brookfield, CT Assessors Map



- | | | | | | |
|----------------------|-------------|----------------|-----------|------------|-------------------|
| Brookfield Town Line | Travel Ways | Pool | Guardrail | Drainage | Unpaved |
| Brookfield Parcels | Watercourse | Stonewall | Trail | Hydrant | Railroad |
| Unpaved | Building | Retaining Wall | Wetland | Tree Line | Street Centerline |
| | | | | Light Post | |



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